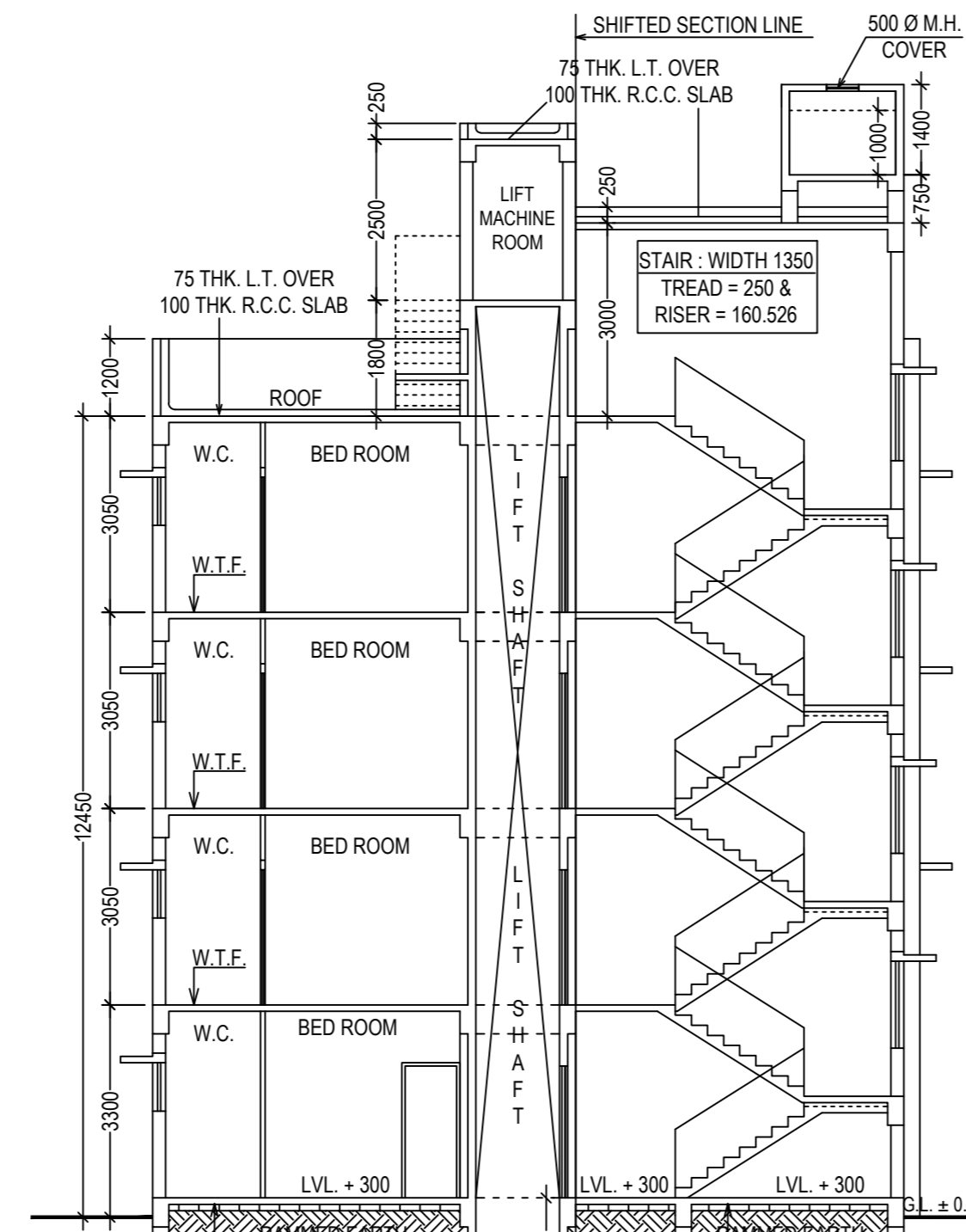


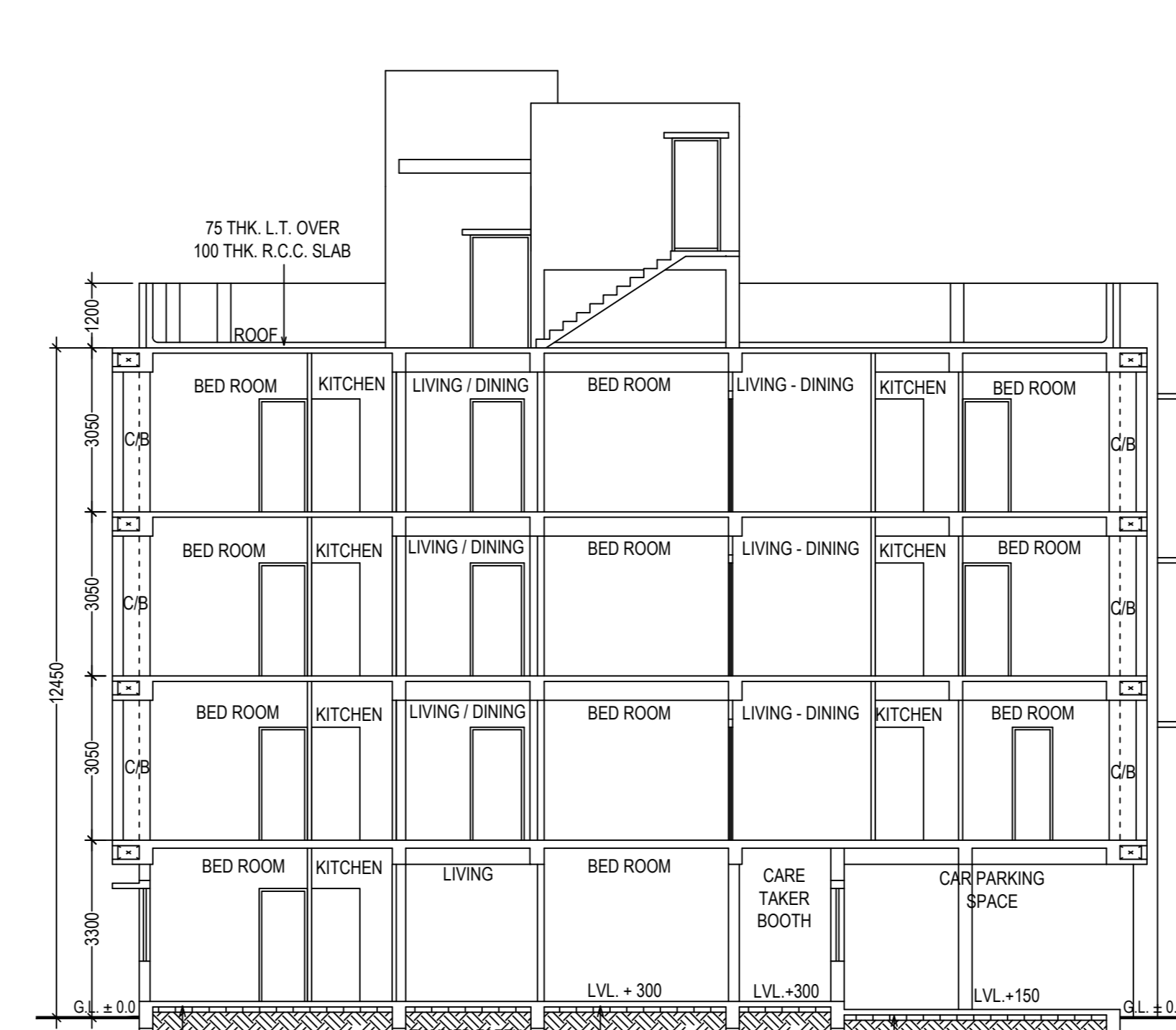


FRONT (NORTH) SIDE ELEVATION
SCALE: 1:100

REAR (SOUTH) SIDE ELEVATION
SCALE: 1:100



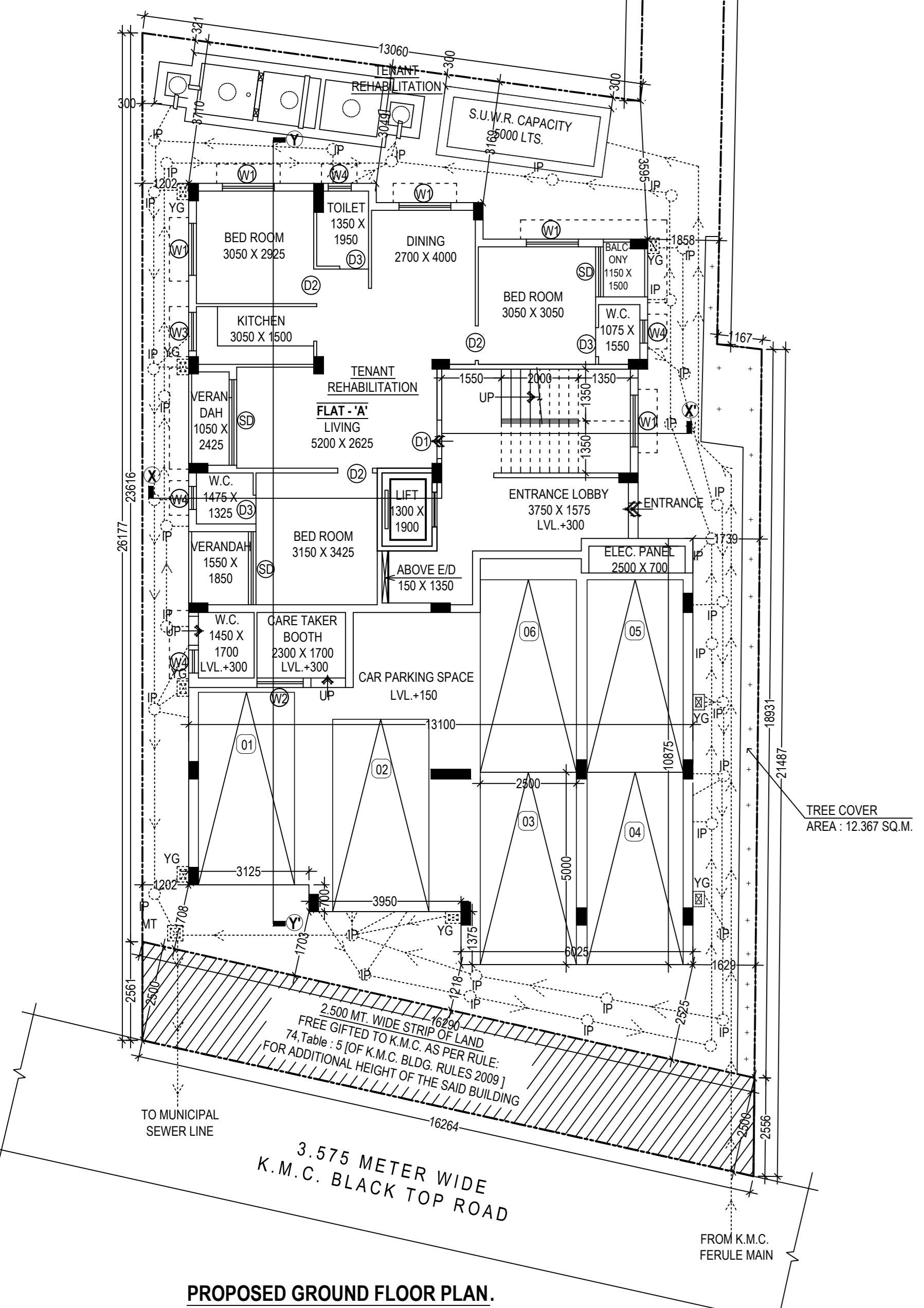
SECTION THROUGH : X - X.
SCALE: 1:100



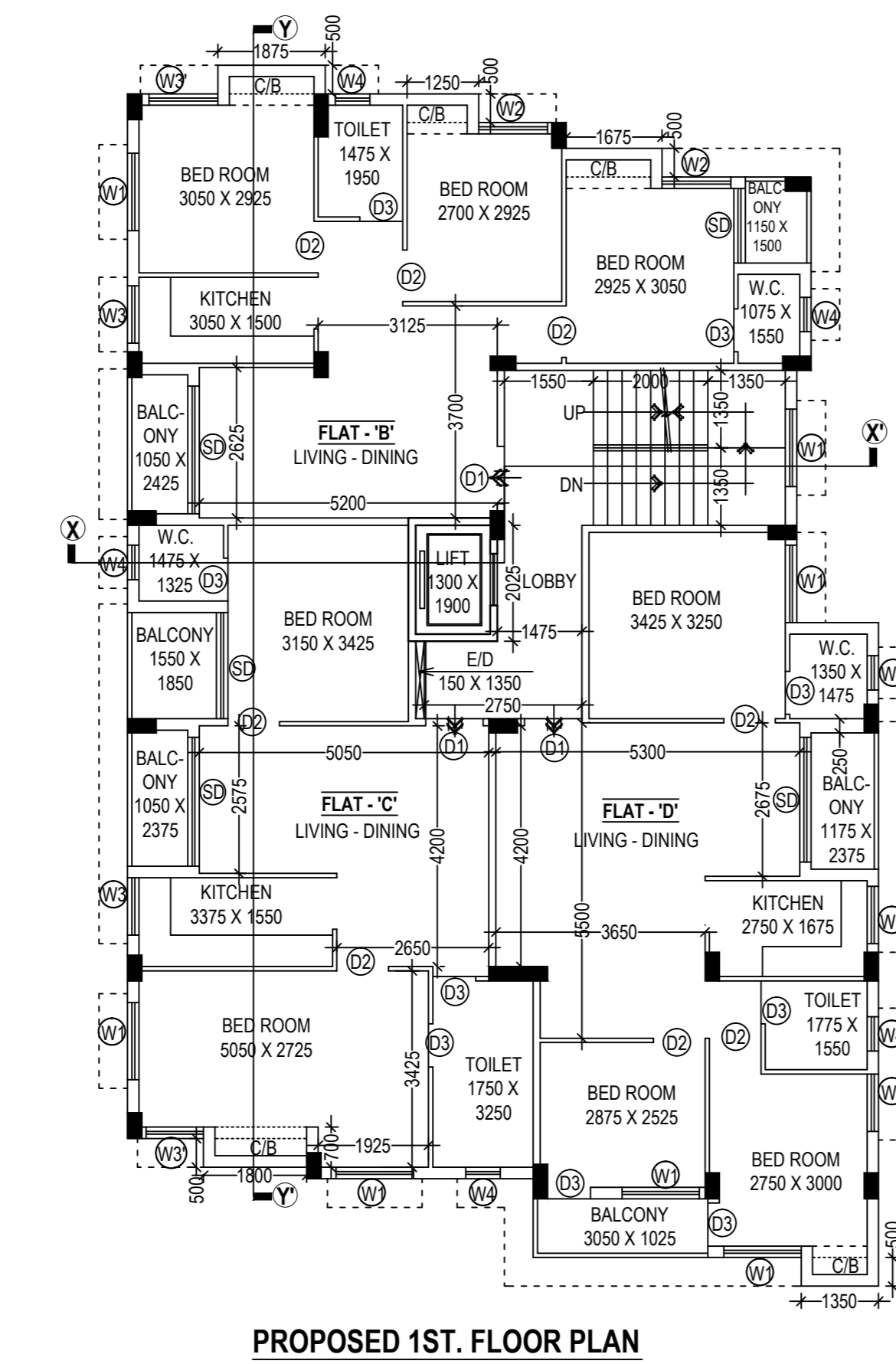
SECTION THROUGH : Y - Y.
SCALE: 1:100

PART - A		1. PROPOSED AREA :		TOTAL	
1. ASSESSEE NO :- 21 - 093 - 07 - 0033 - 2		1. ASSESSEE NO :- 21 - 093 - 07 - 0033 - 2		EXEMPTED AREA	
2. NAME OF OWNER :- MR. SUMAN MITTRA		Fir Mkd.	Area	Lift Well	Net Floor Area
3. NAME OF APPLICANT :- MR. KAILASH CHAND AGARWAL DIRECTOR OF ANJANEYA BUILDERS AND PROMOTERS PRIVATE LIMITED. C.A. OF MR. SUMAN MITTRA.		Ground floor	234.489	---	234.489
4. DETAILS OF REGD. DEED :-		1st floor	234.489	2.470	236.959
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	33	81 TO 88	1429	27.02.1962	ALIPORE (SOUTH)
5. DETAILS OF REGD. DEED :-		2nd floor	234.489	2.470	236.959
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	105	241 TO 241	4246	30.06.1975	D.S.R. ALIPORE
6. DETAILS OF REGD. SETTLEMENT DEED :-		3rd floor	234.489	2.470	236.959
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	64	65 TO 71	5951	04.12.1985	ALIPORE
7. DETAILS OF POWER OF ATTORNEY :-		TOTAL	937.956	7.410	945.366
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	104	203028 TO 203029	160408740	02.08.2022	24 PARGANAS(S)
8. DETAILS OF REGISTERED BOUNDARY DECLARATION :-		2. PARKING CALCULATION:			
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	1630	498 TO 510	16300011	03.01.2022	24 PARGANAS(S)
9. DETAILS OF REGISTERED STRIP OF LAND :-		Flat	Share of Service	Tenement Area	Tenement
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	1604	28720 TO 28720	16040990	25.08.2022	24 PARGANAS(S)
10. DETAILS OF REGISTERED NON EVICTION OF TENANT :-		Marked	Size (SQ.M.)	Size (SQ.M.)	No.
BOOK NO.	VOLUME NO.	PAGES	BEGING NO.	DATED	OFFICE
I	1630	21923	163000483	24.01.2022	24 PARGANAS(S)
ABSTRACT AREA STATEMENT :-		Reqd	Share of Service	Tenement Area	Tenement
AREA OF THE LAND :- 06 K. - 13CH. - 25 SQ.FT. (i.e. 452.189 SQ.M.)		Flat	Share of Service	Tenement Area	Tenement
14.4975 SQ.FT. (AS PER DEED)		Marked	Size (SQ.M.)	Size (SQ.M.)	No.
AREA OF THE LAND :- 06 K. - 13CH. - 00 SQ.FT. (i.e. 455.645 SQ.M.)		FLAT - A	85.920	12.548	01 NOS.
STRIP OF LAND :- 46.893 SQ.M.		FLAT - B	67.930	9.842	03 NOS.
NET AREA OF LAND :- 455.645 - 46.893 = 414.952 SQ.M.		FLAT - C	68.916	10.065	03 NOS.
ROAD WIDTH :- 3.575 METER WIDE K.M.C BLACK TOP ROAD.		FLAT - D	74.625	10.898	03 NOS.
PERMISSIBLE F.A.R. :- 1.750		TOTAL	297.391	43.353	09 NOS.
PERMISSIBLE TOTAL BUILT UP AREA :- 727.379 SQ.M.		TOTAL REQUIRED PARKING :- 05 NOS.			
PERMISSIBLE BUILDING HEIGHT :- 12.500 METER.		I / WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I / WE SHALL ENGAGE L.B.A & E.S.E DURING CONSTRUCTION / I SHALL FOLLOW THE INSTRUCTIONS OF L.B.A & E.S.E DURING CONSTRUCTION OF THE BUILDING AS PER B.S.P.LAN / K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & QUOTING.			
PERMISSIBLE GROUND COVERAGE :- 51.493 % (i.e. 234.561 SQ.M.)		IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDER TAKEN UNDER THE GUIDANCE OF E.S.E / L.B.A BEFORE STARTING OF BUILDING FOUNDATION WORK. DURING INSPECTION THE PLOT IS IDENTIFIED BY ME. THERE IS NO COURT CASE PENDING AGAINST THIS PREMISES.			
PROPOSED BUILDING HEIGHT :- 12.450 METER (0 + THREE STORED)		NAME OF OWNER / APPLICANT			
REQUIRED CAR PARKING :- 05 NOS.		MR. KAILASH CHAND AGARWAL DIRECTOR OF ANJANEYA BUILDERS AND PROMOTERS PRIVATE LIMITED. C.A. OF MR. SUMAN MITTRA.			
PROVIDED CAR PARKING :- (06 NOS.) (COVERED :- 06 NOS.)		NAME OF ARCHITECT			
PERMISSIBLE AREA FOR CAR PARKING :- 125.000 SQ.M.		MR. ANUPAM GHOSH REG. NO. CA / 2005 / 38555			
PROPOSED F.A.R. :- (867.229 - 106.261) / 455.645 = 1.670 < 1.75		CERTIFICATE OF ARCHITECT :-			
STAIR COVERED AREA :- 16.980 SQ.M.		CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF KOLKATA MUNICIPAL CORPORATION BUILDING RULES 2002 AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE PLAN WHICH HAS BEEN MEASURED AND VERIFIED BY ME THAT IT IS A BUILDABLE SITE & NOT A FILLED UP TANK. THE LAND IS DEMARCATED WITH BOUNDARY WALL.			
O.H.W. TANK AREA :- 6.080 SQ.M.		NAME OF STRUCTURAL ENGINEER			
LIFT MACHINE ROOM AREA :- 7.263 SQ.M.		MR. BIKESH MULLICK STRUCTURAL ENGINEER (ESE / 175)			
LIFT MACHINE ROOM STAIR AREA :- 3.775 SQ.M.		CERTIFICATE OF STRUCTURAL ENGINEER :-			
CUP BOARD AREA :- 3.975 X 3 = 11.925 SQ.M.		THE STRUCTURAL DESIGN & DRAWINGS OF BOTH FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAS BEEN PREPARED BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA & THE FOUNDATION IS CAPABLE OF TAKING THE LOAD. CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECTS. SOIL TESTING HAS BEEN DONE BY DR. S. K. CHAKRABORTY OF J.B. ASSOCIATES, 118, WAHABDAR, PANCHSATEER, KOLKATA - 700 094. THE RECOMMENDATION OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATIONS.			
TOTAL AREA FOR FEES :- (929.937 + 16.990 + 7.263 + 3.775 + 11.925) = 969.890 SQ.M.		MATERIALS :-			
TOTAL COMMON AREA :- 104.963 SQ.M.		STEEL :- MUST CONFIRMED WITH IS 1786			
PROPOSED TREE COVER AREA :- 12.367 SQ.M.		GRADE OF CONCRETE :- M25			
SPECIFICATION OF CONSTRUCTION :-		GRADE OF STEEL :- F460			
1. 200 THK. 1ST CLASS CEMENT BRICK WORK FOR EXTERNAL WALL IN SUPER STRUCTURE IN 1:1		CEMENT :- ORDINARY PORTLAND & SAND - MEDIUM COURSE			
2. 125 & 75 THK. 1ST CLASS CEMENT BRICK WORK FOR INTERNAL WALL IN 1:4		STONE CHIPS :- 20 MM DOWN GRADED			
3. LEAN CONCRETE 1:3:6 WITH 19 MM DOWN GRADED STONE CHIPS (M+15)		OTHER DETAILS AS PER ARCHITECT OR ENGINEER. IN CHARGE			
4. R.C.C. 1:2:4 FOR ROOF SLAB, BEAM, LINTEL, CHAJJA ETC.		DOOR & WINDOW SCHEDULE :-			
5. CEMENT SAND PLASTER 18 MM ON OUTSIDE & 12 MM ON INSIDE WALL IN 1:4		MARKED			
6. D.P.C. SHALL BE 50MM THICK IN 1:1.5:3 TONE WITH WATER PROOFING ADJUSTURE		TYPE			
7. 25 MM THK. L.P.S. FLOORING WITH NEAT CEMENT FINISH AT TOP		[SILL HEIGHT FROM FLOOR]			
8. 75 MM THK. SINGLE BROCK FLAT SOLING ON FOUNDATION		[INTEL HEIGHT FROM FL.]			
9. ENTRANCE LOBBY + 30 L.V. FROM THE FINISHED GROUND FLOOR LVL.		SIZE			
10. TREAD WIDTH 250 EACH & RISER HEIGHT IS 150.528 EACH		D1			
11. FLOOR TO SLAB HEIGHT SHALL BE 3050 MM. & THICKNESS OF THE SLAB SHALL BE 100 MM.		D2			
12. THEREFORE, CLEAR HEIGHT OF EACH FLOOR SHALL BE 2650 MM.		D3			
CUP BOARD & LOFT AREA :-		D4			
FLOOR MARK		CUP BOARD		LOFT AREA	
FIRST FLOOR		3.975 SQ.M.		---	
SECOND FLOOR		3.975 SQ.M.		---	
THIRD FLOOR		3.975 SQ.M.		---	
TOTAL		11.925 SQ.M.		---	
NAME OF GEO-TECHNICAL ENGINEER		M. SANTOSH KUMAR CHAKRABORTY (G.T. / 1116)			

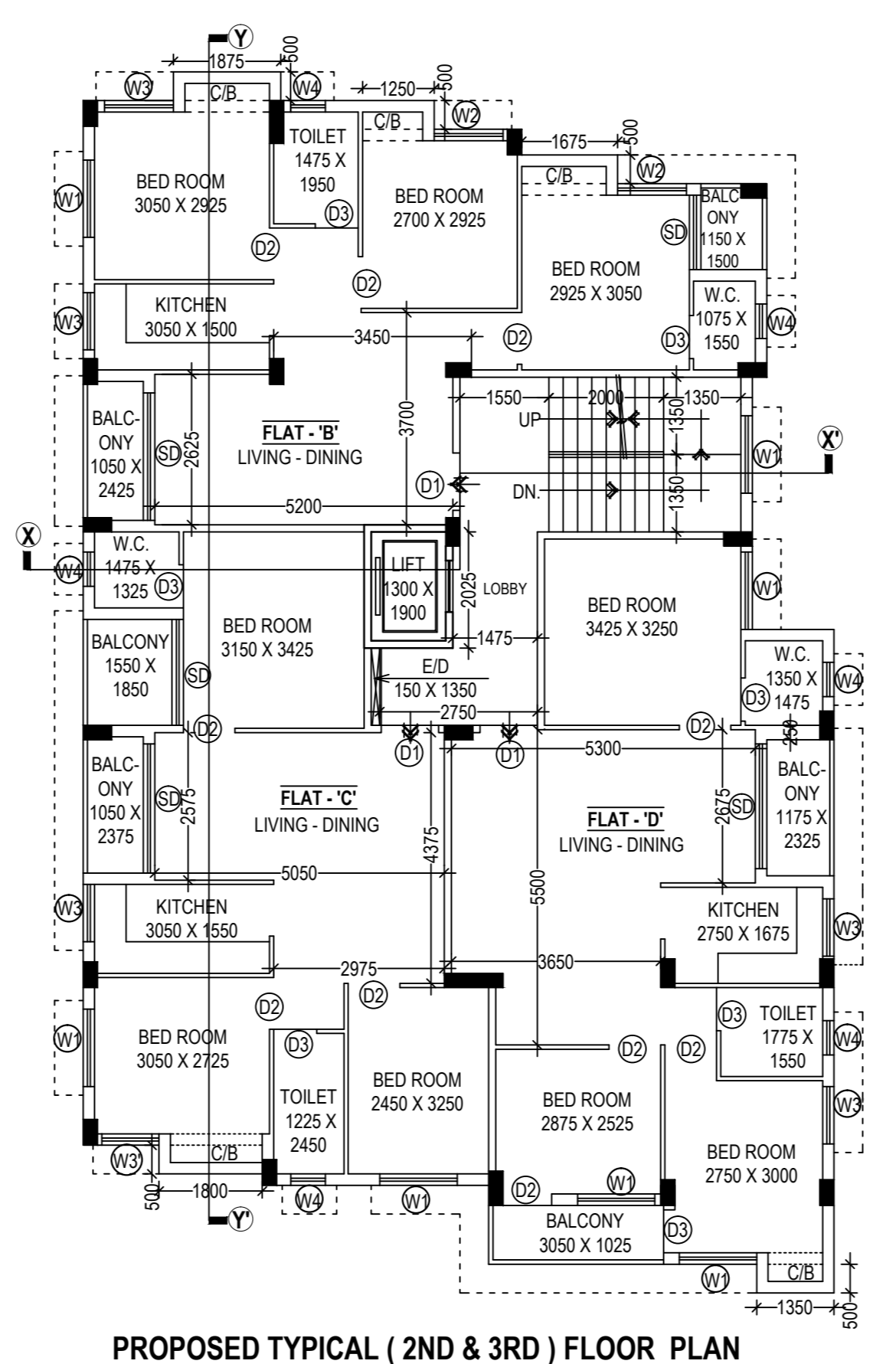
JADAVPUR NORTH ROAD
(K.M.C. BLACK TOP ROAD)



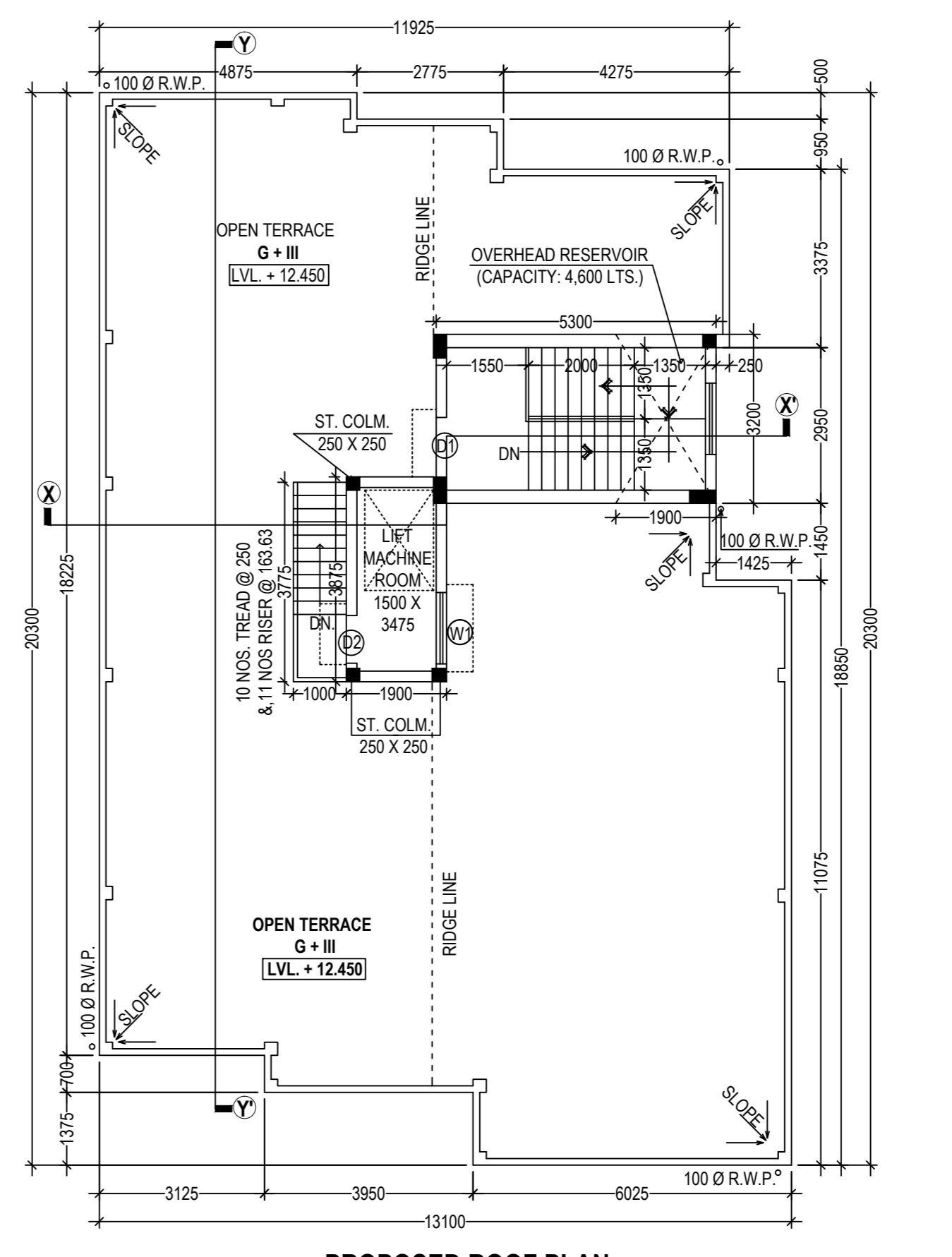
PROPOSED GROUND FLOOR PLAN.
SCALE: 1:100



PROPOSED 1ST FLOOR PLAN
SCALE: 1:100



PROPOSED TYPICAL (2ND & 3RD) FLOOR PLAN
SCALE: 1:100



PROPOSED ROOF PLAN
SCALE: 1:100

CERTIFICATE OF ARCHITECT :-
CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF KOLKATA MUNICIPAL CORPORATION BUILDING RULES 2002 AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE PLAN WHICH HAS BEEN MEASURED AND VERIFIED BY ME THAT IT IS A BUILDABLE SITE & NOT A FILLED UP TANK. THE LAND IS DEMARCATED WITH BOUNDARY WALL.

CERTIFICATE OF STRUCTURAL ENGINEER :-
THE STRUCTURAL DESIGN & DRAWINGS OF BOTH FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAS BEEN PREPARED BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA & THE FOUNDATION IS CAPABLE OF TAKING THE LOAD. CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECTS. SOIL TESTING HAS BEEN DONE BY DR. S. K. CHAKRABORTY OF J.B. ASSOCIATES, 118, WAHABDAR, PANCHSATEER, KOLKATA - 700 094. THE RECOMMENDATION OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATIONS.

CERTIFICATE OF GEO-TECHNICAL ENGINEER :-
UNDERSTANDS HAS INSPECTED THE SITE CARRIED OUT THE SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED THEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

PROJECT :-
PROPOSED GROUND + THREE STORED | 12.450 METER HEIGHT |
RESIDENTIAL BUILDING AT PREMISES NO. 12/4, JADAVPUR
NORTH ROAD , P. S. JADAVPUR, WARD NO. 093,
KOLKATA 700 032, UNDER BOROUGH X [K.M.C.]
U / S 393A OF K.M.C. ACT. 1980 & K.M.C. BLDG. RULE 2009.

TITLE :-
PLANS, ELEVATION, SECTIONS

DRAWING SHEET NO. DEALT - P. MONDAL
DATE: 20.09.2022
SCALE: 1:100 (UNLESS OTHERWISE MENTIONED)
ALL DIMENSIONS ARE IN M.M. (UNLESS OTHERWISE MENTIONED)

Architectural Consultants: **COLLAGE ARCHITECTS**
1488, RAJDANGA MAIN ROAD, (OPPOSITE PURBA ABASAN, DF BLOCK), KOLKATA 700 107, INDIA. PHONE NO. (033) 4602 8909, E-MAIL: collage.architects.info@gmail.com

THIS DRAWING IS A PROPERTY OF COLLAGE. ANY MODIFICATION, CHANGES OR DEVIATIONS IS NOT PERMISSIBLE WITHOUT PRIOR INTIMATION OF THE ARCHITECT. TO THE CONTRARY THIS WILL BE TREATED AS ILLEGAL ACT.

BUILDING PERMIT NO. - 2022100138
DATED - 27-SEP-2022
VALID FOR 5 YEARS FROM DATE OF SANCTION.

SPACE FOR DIGITAL SIGNATURE

DIGITAL SIGNATURE OF A.E. (C) / Bldg. DIGITAL SIGNATURE OF E.E. (C) / Bldg.